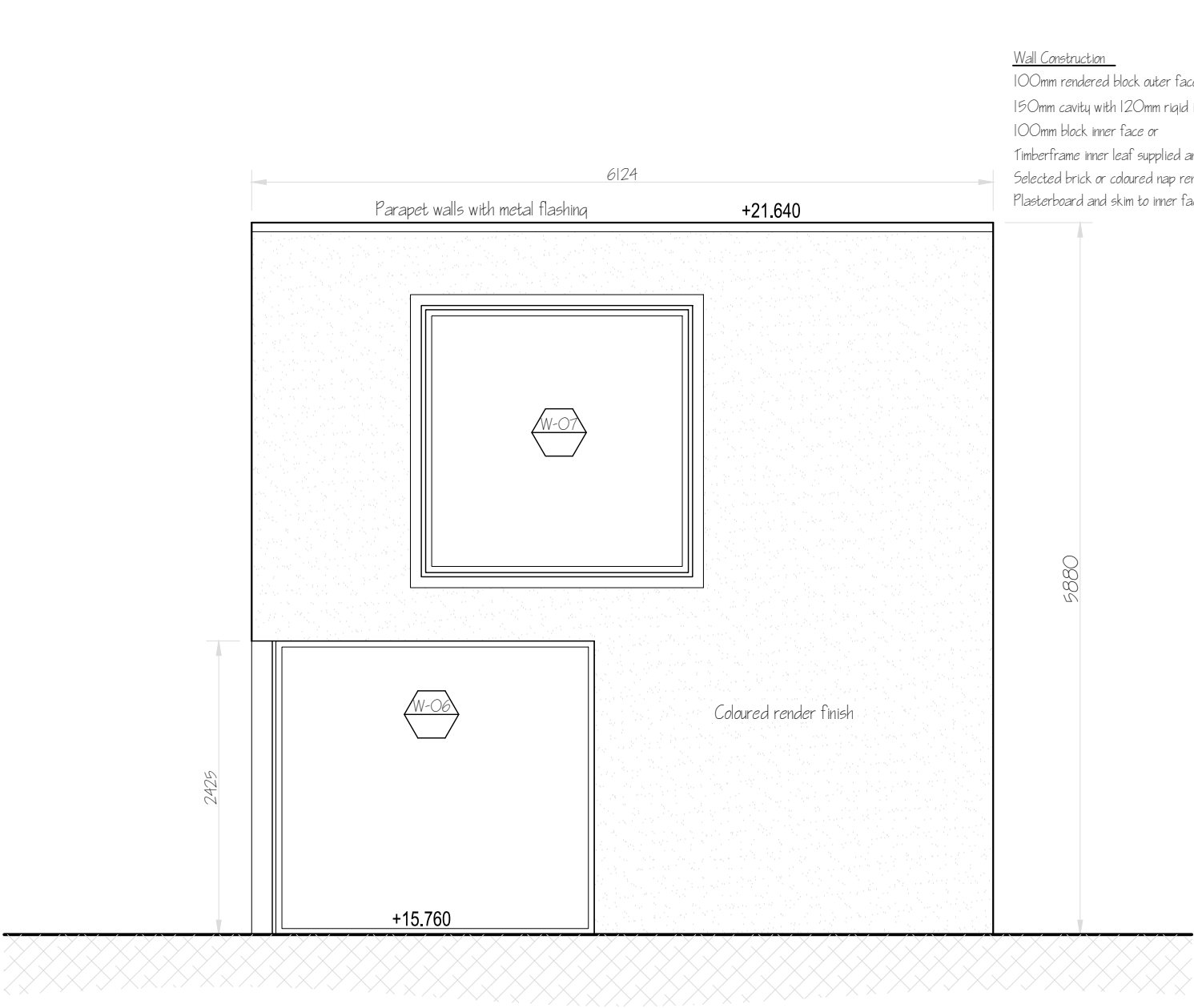
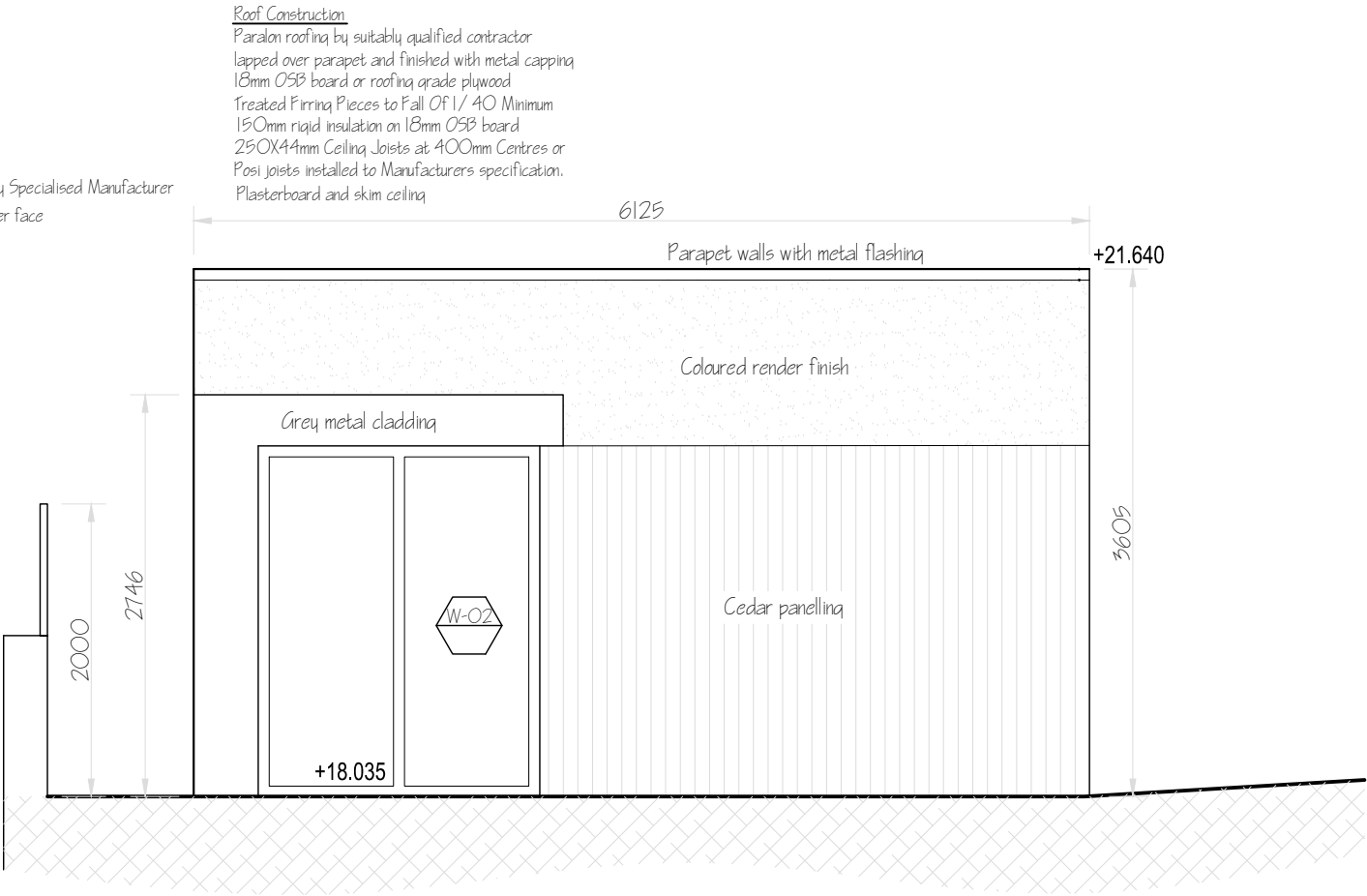


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PROPOSED REAR ELEVATION (Southeast)



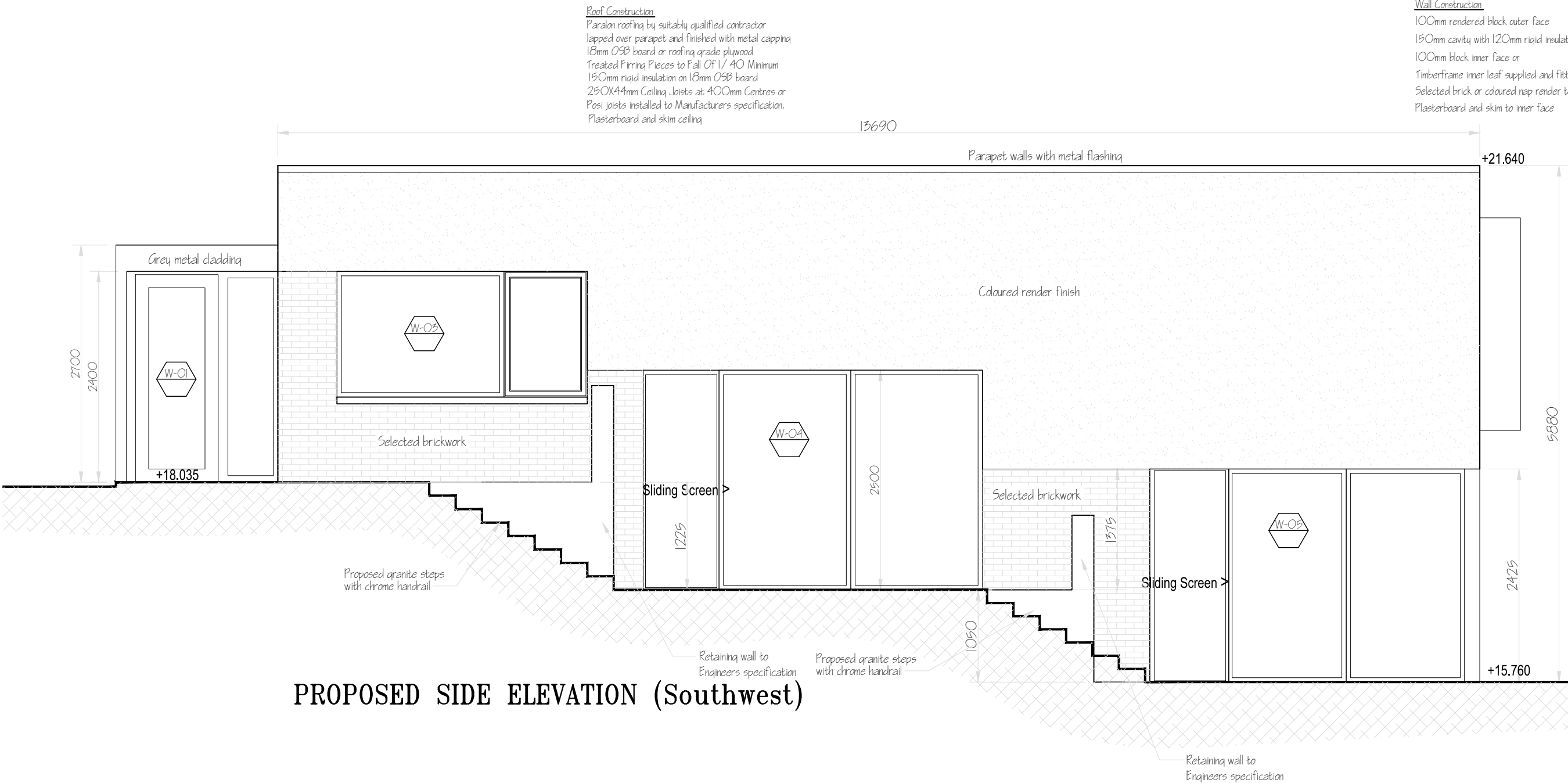
PROPOSED FRONT ELEVATION (Northwest)

Notes:

- All work to comply with Building Regulations 1997 or later.
- It is the responsibility of the Building contractor to ensure all works comply with present Building Regulations
- Do not scale drawings, use figured dimensions only.
- All dimensions to be checked on site.
- Where any discrepancy or error may occur, Architect to be notified prior to commencement of work.
- Refer to Engineers drawings and specification for drainage layout. Connect all new drainage to existing nearest appropriate service
- The contractor shall determine and quote for all required works to ensure all new works comply with the current Part L of the Building Regulations. note: this may require specification to be amended.

CLIENT:		JOB TITLE: <b>PROPOSED DETACHED DWELLING HOUSE WITH NEW VEHICULAR AND PEDESTRIAN ACCESSES AND ASSOCIATED SITE WORKS IN SIDE GARDEN OF 4 ROCKLANDS, HARBOUR ROAD, DALKEY.</b>	
SHEET CONTENT:		DESIGNED BY: <b>GRANVILLE DESIGN SERVICE</b> 55 GRANVILLE ROAD, DUN LAOGHAIRE, CO. DUBLIN. PHONE: 01-2840674 087-2345393 E-MAIL: granvilledesignservice@gmail.com	
DATE:	AUGUST 2022	SCALE:	1:50
DRAWN BY:	P.Mc Adam	DRAWING NO.	125/22/01

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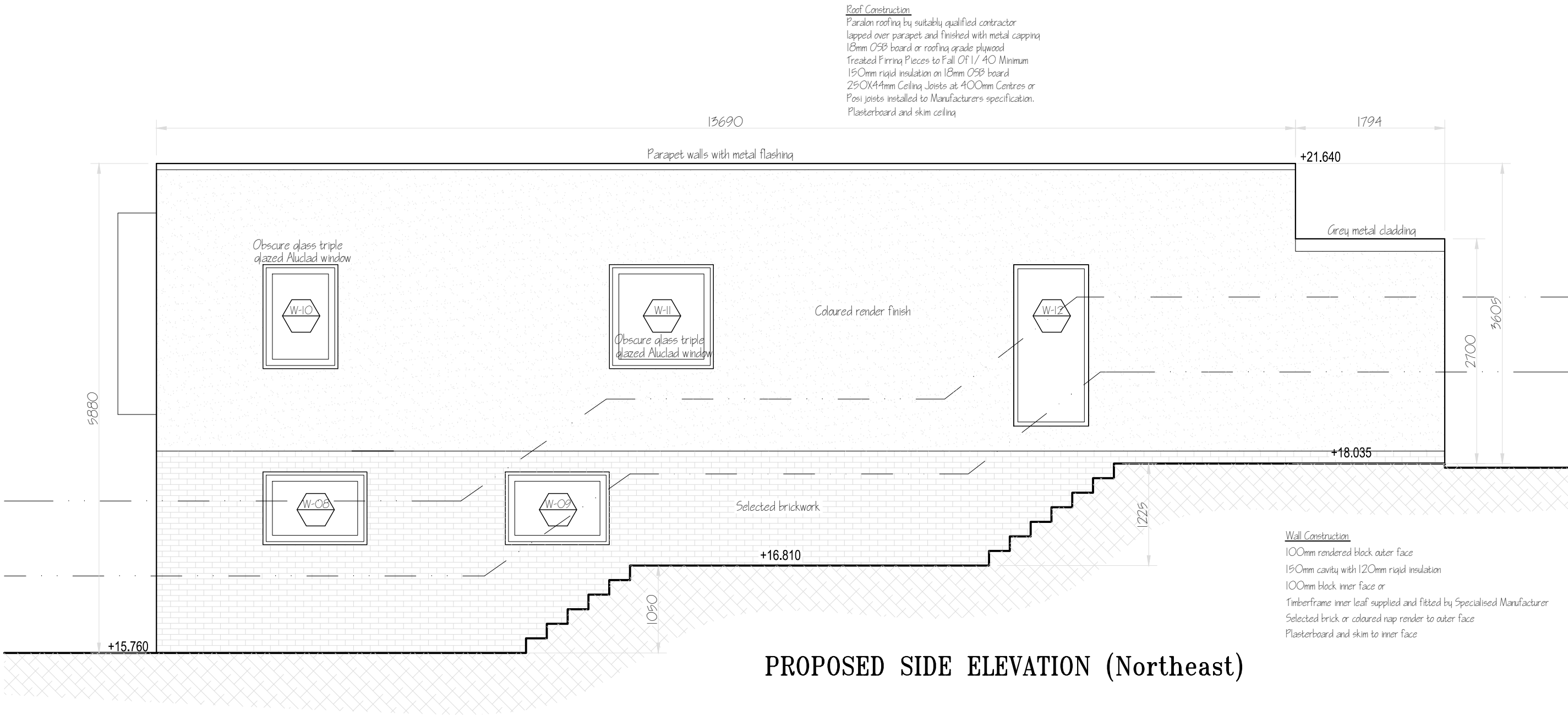
PROPOSED SIDE ELEVATION (Southwest)

Notes:

- All work to comply with Building Regulations 1997 or later.
- It is the responsibility of the Building contractor to ensure all works comply with present Building Regulations
- Do not scale drawings, use figured dimensions only.
- All dimensions to be checked on site.
- Where any discrepancy or error may occur, Architect to be notified prior to commencement of work.
- Refer to Engineers drawings and specification for drainage layout. Connect all new drainage to existing nearest appropriate service
- The contractor shall determine and quote for all required works to ensure all new works comply with the current Part L of the Building Regulations. note: this may require specification to be amended.

CLIENT: <b>NOEL &amp; VALERIE QUIRKE</b>		JOB TITLE: <b>PROPOSED DETACHED DWELLING HOUSE WITH WITH NEW VEHICULAR AND PEDESTRIAN ACCESSES AND ASSOCIATED SITE WORKS IN SIDE GARDEN OF 4 ROCKLANDS, HARBOUR ROAD, DALKEY.</b>	
SHEET CONTENT: <b>SIDE ELEVATION</b>		DESIGNED BY: <b>GRANVILLE DESIGN SERVICE</b> 55 GRANVILLE ROAD, DUN LAOGHAIRE, CO. DUBLIN. PHONE: 01-2840674 087-2345393 E-MAIL: granvilledesignservice@gmail.com	
DATE: AUGUST 2022	SCALE: 1:50	DRAWN BY: P.Mc Adam	DRAWING NO. 125/22/02

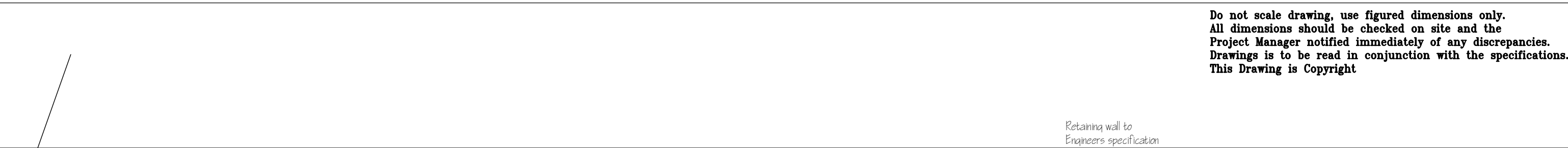
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Notes:

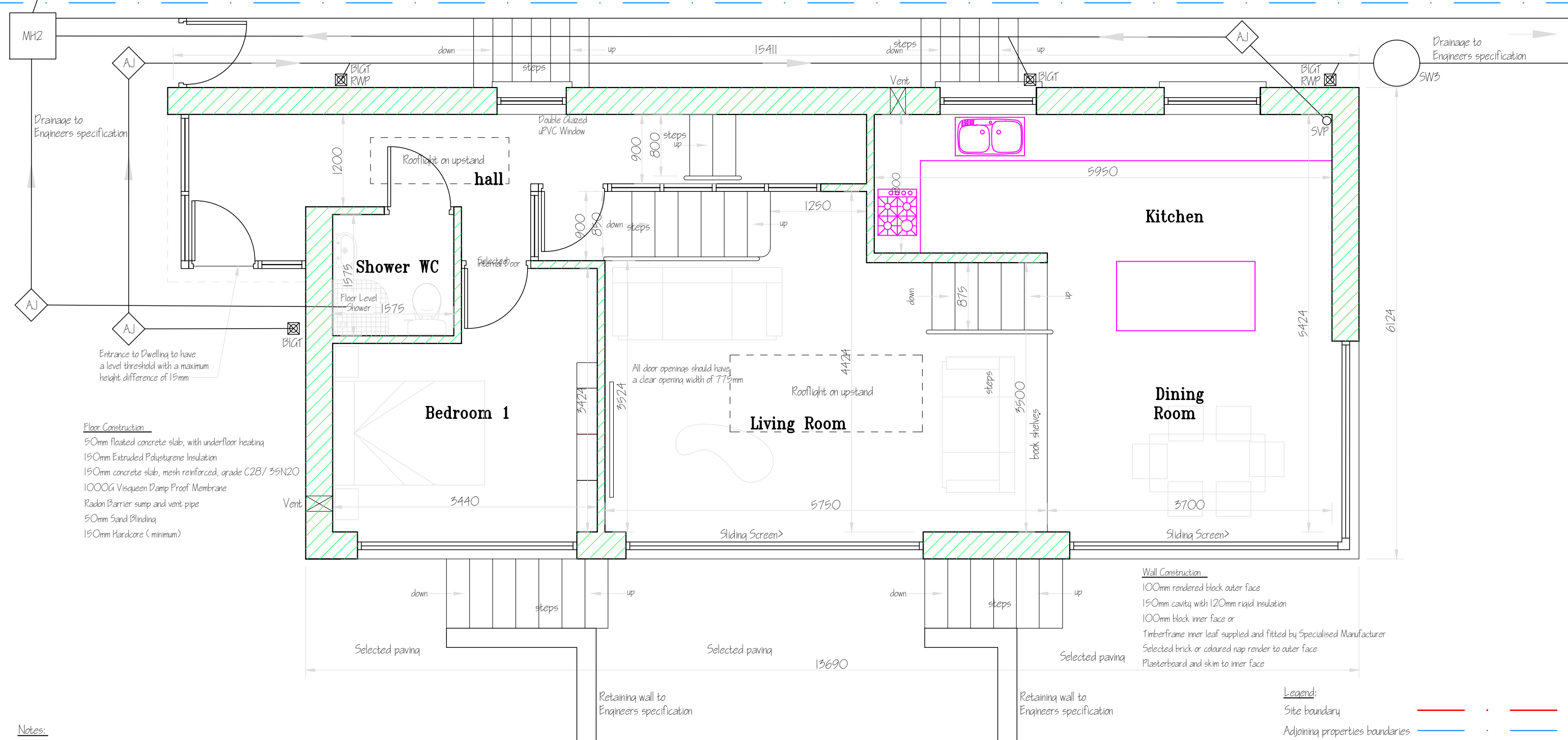
- All work to comply with Building Regulations 1997 or later.
- It is the responsibility of the Building contractor to ensure all works comply with present Building Regulations
- Do not scale drawings, use figured dimensions only.
- All dimensions to be checked on site.
- Where any discrepancy or error may occur, Architect to be notified prior to commencement of work.
- Refer to Engineers drawings and specification for drainage layout. Connect all new drainage to existing nearest appropriate service
- The contractor shall determine and quote for all required works to ensure all new works comply with the current Part L of the Building Regulations. note: this may require specification to be amended.

CLIENT: <b>NOEL &amp; VALERIE QUIRKE</b>		JOB TITLE: <b>PROPOSED DETACHED DWELLING HOUSE WITH WITH NEW VEHICULAR AND PEDESTRIAN ACCESSES AND ASSOCIATED SITE WORKS IN SIDE GARDEN OF 4 ROCKLANDS, HARBOUR ROAD, DALKEY.</b>	
SHEET CONTENT: <b>SIDE ELEVATION</b>		DESIGNED BY: <b>GRANVILLE DESIGN SERVICE</b> 55 GRANVILLE ROAD, DUN LAOGHAIRE, CO. DUBLIN. PHONE: 01-2840674 087-2345393 E-MAIL: granvilledesignservice@gmail.com	
DATE: AUGUST 2022	SCALE: 1:50	DRAWN BY: P.Mc Adam	DRAWING NO. 125/22/03

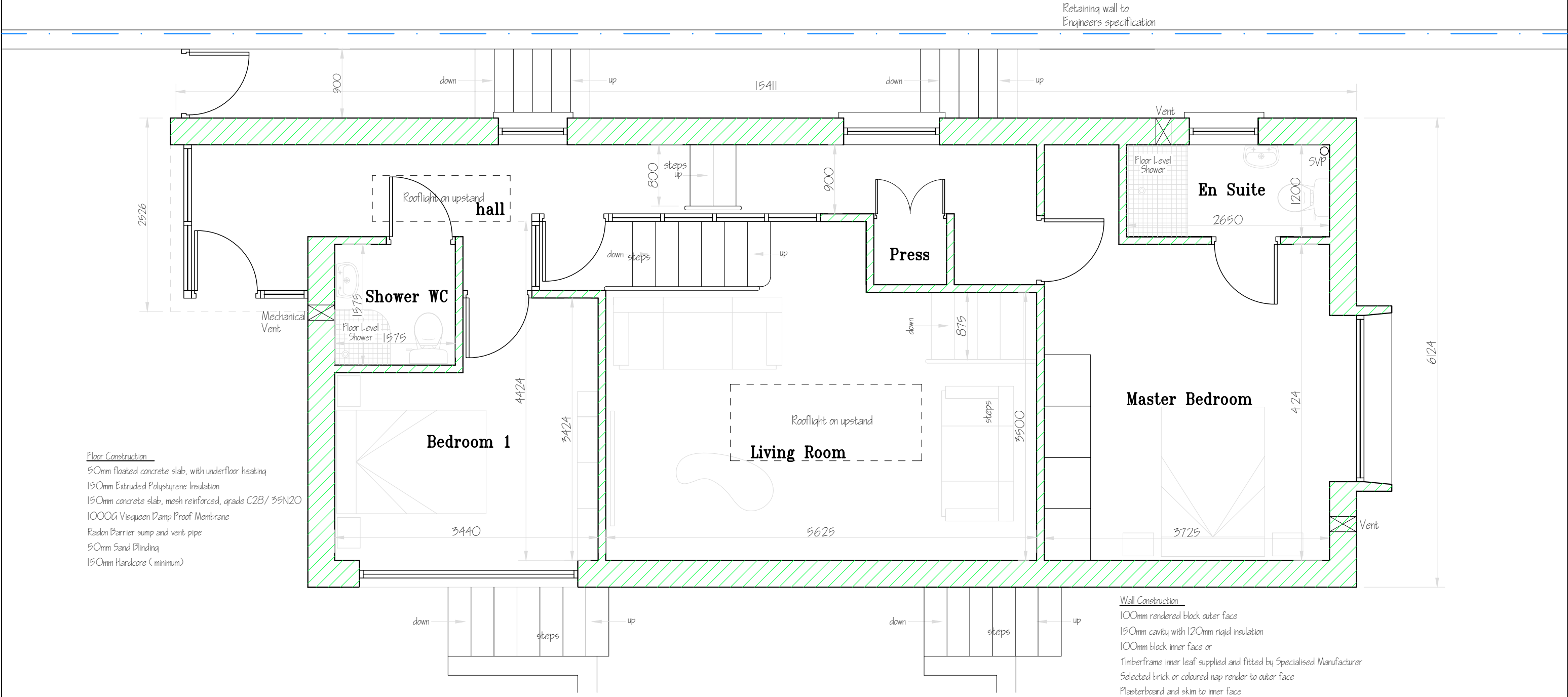


Retaining wall to  
Engineers specification

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Floor Construction  
50mm floated concrete slab, with underfloor heating  
150mm Extruded Polystyrene Insulation  
150mm concrete slab, mesh reinforced, grade C28/ 35N20  
1000G Visqueen Damp Proof Membrane  
Radon Barrier sump and vent pipe  
50mm Sand Blinding  
150mm Hardcore (minimum)

Wall Construction  
100mm rendered block outer face  
150mm cavity with 120mm rigid insulation  
100mm block inner face or  
Timberframe inner leaf supplied and fitted by Specialised Manufacturer  
Selected brick or coloured nap render to outer face  
Plasterboard and skim to inner face

UPPER FLOOR PLAN

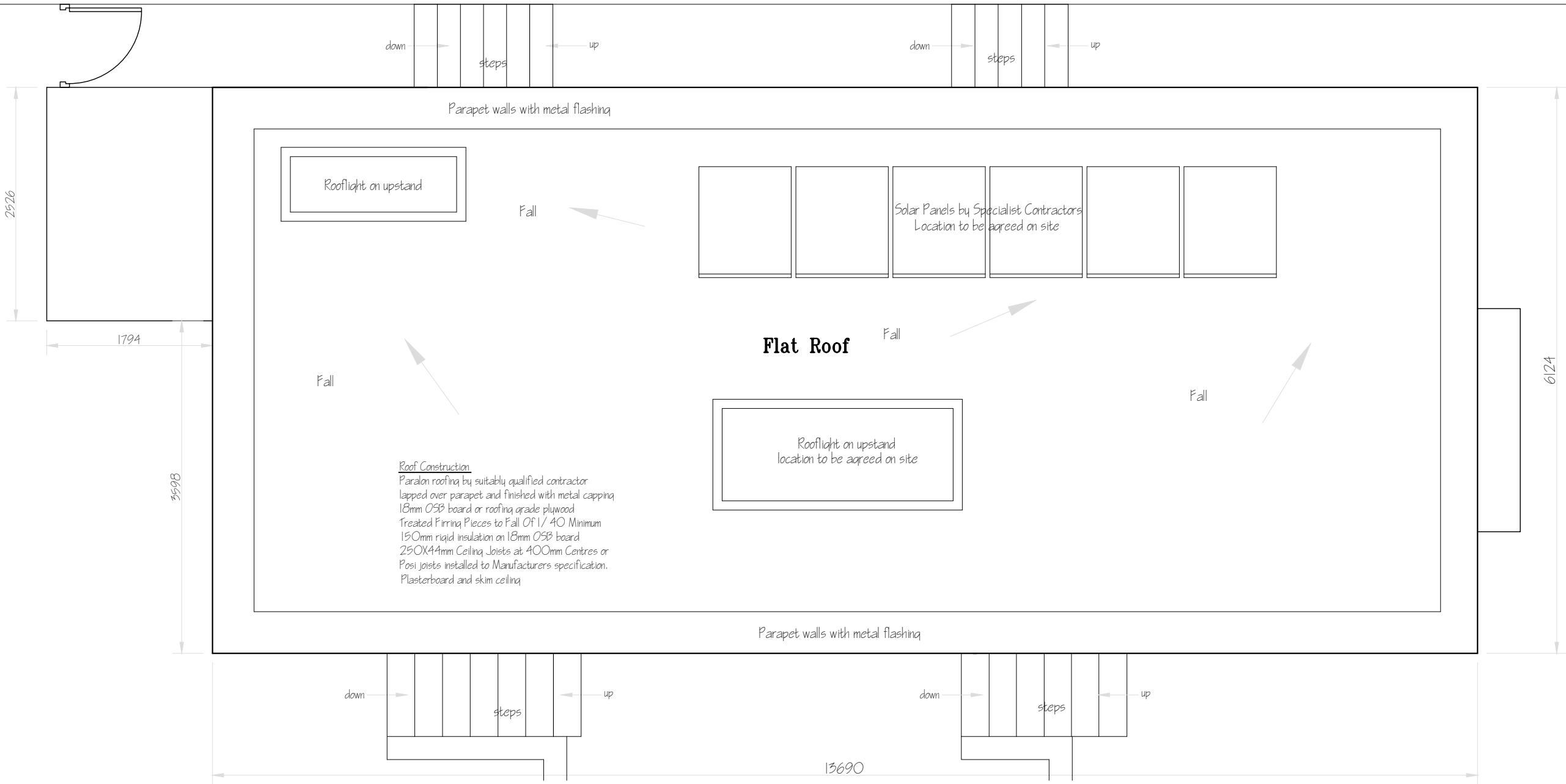
Notes:  
All work to comply with Building Regulations 1997 or later.  
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Refer to Engineers drawings and specification for drainage layout.  
Connect all new drainage to existing nearest appropriate service  
The contractor shall determine and quote for all required works to  
ensure all new works comply with the current Part L of the  
Building Regulations. note: this may require specification to be amended.

<u>Legend:</u>	
Site boundary	— . —
Adjoining properties boundaries	— . —
Existing walls to be retained	— no hatching —
Structures to be removed	- - -
New works	///

Area of building  
98.76sq metres

CLIENT: <b>NOEL &amp; VALERIE QUIRKE</b>		JOB TITLE: <b>PROPOSED DETACHED DWELLING HOUSE WITH WITH NEW VEHICULAR AND PEDESTRIAN ACCESSES AND ASSOCIATED SITE WORKS IN SIDE GARDEN OF 4 ROCKLANDS, HARBOUR ROAD, DALKEY.</b>	
SHEET CONTENT: <b>UPPER FLOOR PLAN</b>		DESIGNED BY: <b>GRANVILLE DESIGN SERVICE</b> 55 GRANVILLE ROAD, DUN LAOGHAIRE, CO. DUBLIN. PHONE: 01-2840674 087-2345393 E-MAIL: granvilledesigntservice@gmail.com	
DATE: AUGUST 2022	SCALE: 1:50	DRAWN BY: P.Mc Adam	DRAWING NO. 125/22/05

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ROOF PLAN

Notes:

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all works comply with present Building Regulations  
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notified prior to commencement of work.  
Refer to Engineers drawings and specification for drainage layout.  
Connect all new drainage to existing nearest appropriate service  
The contractor shall determine and quote for all required works to  
ensure all new works comply with the current Part L of the  
Building Regulations. note: this may require specification to be amended.

Legend:	
Site boundary	— . —
Adjoining properties boundaries	— . —
Existing walls to be retained	— no hatching —
Structures to be removed	- - -
New works	///



CLIENT: <b>NOEL &amp; VALERIE QUIRKE</b>		JOB TITLE: <b>PROPOSED DETACHED DWELLING HOUSE WITH WITH NEW VEHICULAR AND PEDESTRIAN ACCESSES AND ASSOCIATED SITE WORKS IN SIDE GARDEN OF 4 ROCKLANDS, HARBOUR ROAD, DALKEY.</b>	
SHEET CONTENT: <b>ROOF PLAN</b>		DESIGNED BY: <b>GRANVILLE DESIGN SERVICE</b> 55 GRANVILLE ROAD, DUN LAOGHAIRE, CO. DUBLIN. PHONE: 01-2840674 087-2345393 E-MAIL: granvilledesignservice@gmail.com	
DATE: AUGUST 2022	SCALE: 1:50	DRAWN BY: P.Mc Adam	DRAWING NO. 125/22/06

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Paraloid roofing by suitably qualified contractor  
lapped over parapet and finished with metal capping  
18mm OSB board or roofing grade plywood  
Treated Furring Pieces to Fall Of 1/ 40 Minimum  
150mm rigid insulation on 18mm OSB board  
250X44mm Ceiling Joists at 400mm Centres or  
Posi joists installed to Manufacturers specification.  
Plasterboard and skim ceiling

100mm rendered block outer face  
150mm cavity with 120mm rigid insulation  
100mm block inner face or  
Timberframe inner leaf supplied and fitted by Specialised Manufacturer  
Selected brick or coloured nap render to outer face  
Plasterboard and skim to inner face

Employ a Consultant Engineer to provide details of steel beams/lintols and stanchions

Parapet wall with metal capping

### Bedroom 1

## Bedroom 2

## Living Room

## Dining Room

## PROPOSED SECTION

Notes:

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Refer to Engineers drawings and specification for drainage layout.  
Connect all new drainage to existing nearest appropriate service

The contractor shall determine and quote for all required works to ensure all new works comply with the current Part L of the Building Regulations, note; this may require specification to be amended.

Blockwork below DPC to be 450x225x100mm approved  
Strip Foundations in concrete (1:5) to size and depth shown.

Foundations  
solid blocks, bedded in cement mortar (3:1)

Excavation to be min. 600mm below G.L.

Reinforcing bars shall be high yield Type 2 deformed bars to BS.4449

Reinforcing mesh shall be high yield reinforcing fabric to BS.4483

### Wall construction

100mm rendered blockwork outer face, 150mm cavity with 120mm rigid insulation.  
100mm blockwork inner face with plasterboard and skim finish.

The Works should be Inspected at various stages of construction and at completion and certified as complying with the Building Regulations

All workmanship and materials used shall comply with Part D of the First Schedule to the Building Regulations

All walls to be removed on the site are blockwork or concrete

Structural steel to be fabricated in accordance with I.S. EN 1993-2005

All new timber stud walls to be acoustically insulated, slabbed and skimmed with plaster finish. Moisture resistant boards to be provided in rooms, ( Bathroom, En-Suite and Kitchen

All steelwork to be marked by a CE approved Fabricator  
Use 10mm thick gusset, fin & end plates all round. All welds to be 6mm  
continuous fillets full profile. All bolts to be 20mm

Where drains pass under buildings, pipes are to be encased in concrete min. 100mm thick.

Where drains pass under walls a precast concrete lintol is to be placed in wall over drain to prevent damage to drain.

All new sanitary pipework shall conform to BS.5572:1978. Provide cleaning access to all bends

### Floor Construction

50mm floated concrete slab, with underfloor heating  
150mm Extruded Polystyrene Insulation  
150mm concrete slab, mesh reinforced, grade C28/35N20  
1000G Visqueen Damp Proof Membrane  
Radon Barrier sump and vent pipe  
50mm Sand Blinding  
150mm Hardcore (minimum)

Porch roofing and walls

Selected Zinc metal roofing Rhein zinc or similar, laid in accordance with in accordance with Manufacturers instructions. Laid on 18mm external OSB board on treated timber joists

Clay brick masonry units shall be in accordance with I.S. EN 771

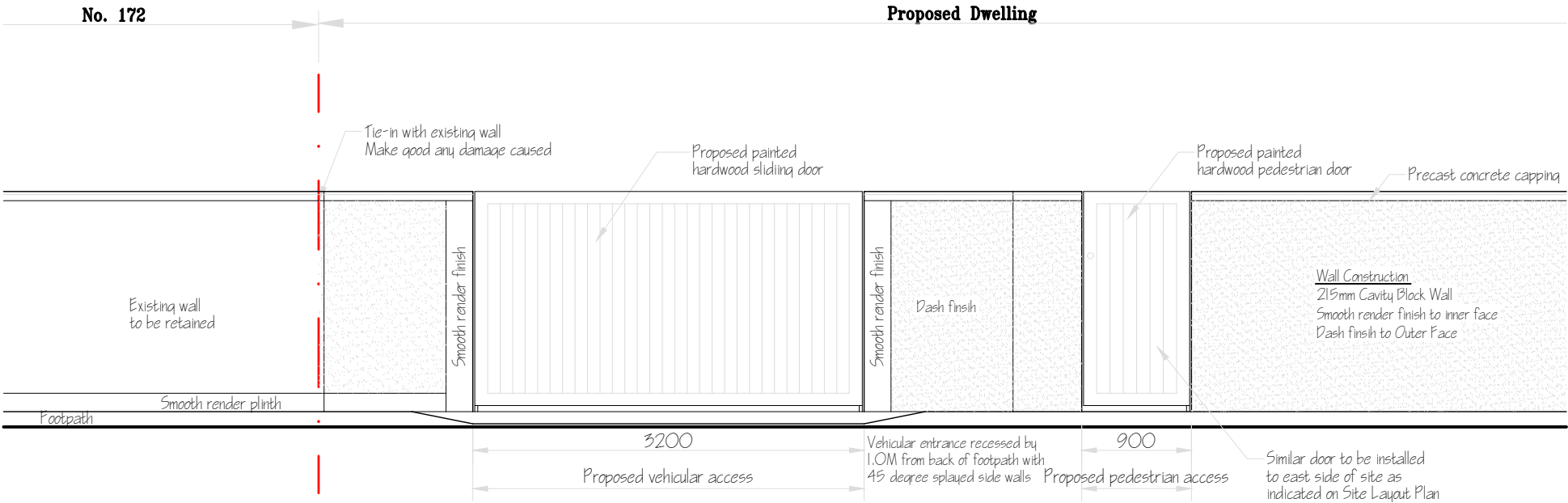
Cedar panelling to be fixed on battens to blockwork and agreed with Client

The main contractor shall be responsible for the co-ordination of all the various sub-contractors work, and for their proper progress in the appropriate order to ensure completion of the project.

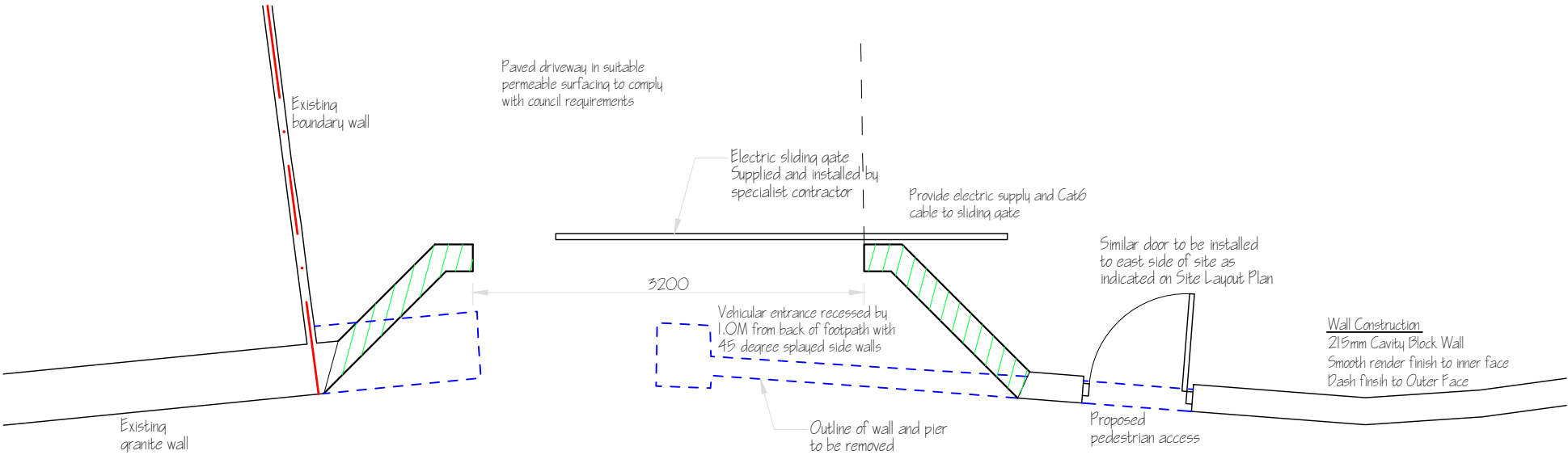
CLIENT:  <div style="text-align: center; font-size: 24pt; font-weight: bold;">NOEL &amp; VALERIE QUIRKE</div>		JOB TITLE: <b>PROPOSED DETACHED DWELLING HOUSE WITH WITH NEW VEHICULAR AND PEDESTRIAN ACCESSES AND ASSOCIATED SITE WORKS IN SIDE GARDEN OF 4 ROCKLANDS, HARBOUR ROAD, DALKEY.</b>	
SHEET CONTENT:  <div style="text-align: center; font-size: 24pt; font-weight: bold;">SECTION THRU BUILDING</div>		DESIGNED BY: <b>GRANVILLE DESIGN SERVICE</b> 55 GRANVILLE ROAD, DUN LAOGHAIRE, CO. DUBLIN. PHONE: 01-2840674 087-2345393 E-MAIL: granvilledesignservice@gmail.com	
DATE:  <div style="text-align: center;">AUGUST 2022</div>	SCALE:  <div style="text-align: center;">1:50</div>	DRAWN BY:  <div style="text-align: center;">P. Mc Adam</div>	DRAWING NO.  <div style="text-align: center;">125/22/07</div>



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ELEVATION OF VEHICULAR ACCESS

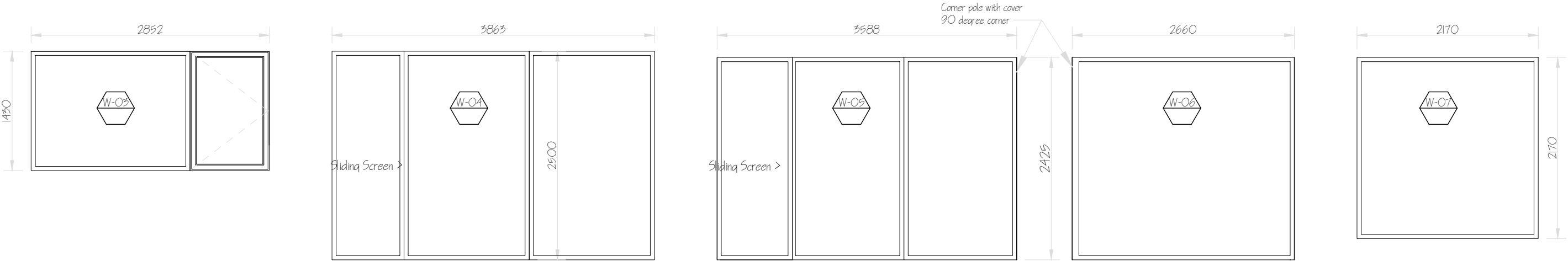


PLAN OF VEHICULAR ACCESS

CLIENT: <b>NOEL &amp; VALERIE QUIRKE</b>		JOB TITLE: <b>PROPOSED DETACHED DWELLING HOUSE WITH WITH NEW VEHICULAR AND PEDESTRIAN ACCESSES AND ASSOCIATED SITE WORKS IN SIDE GARDEN OF 4 ROCKLANDS, HARBOUR ROAD, DALKEY.</b>	
SHEET CONTENT: <b>ELEVATION AND PLAN OF ENTRANCE</b>		DESIGNED BY: <b>GRANVILLE DESIGN SERVICE</b> 55 GRANVILLE ROAD, DUN LAOGHAIRE, CO. DUBLIN. PHONE: 01-2840674 087-2345393 E-MAIL: granvilledesignservice@gmail.com	
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Southwest doors and window

Southeast glazed panel and window

External windows and screens to be triple glazed Aluclad

With Argon gas filled 12mm gap with opening casements with stay arms.

Window colour TBC and configuration to be confirmed with Architect and Client prior to commissioning

Apply flexible sealant around windows frames internally and externally to limit air infiltration in accordance with Part L of the current Building Regulations.

Air tightness tape to be supplied and fitted at all window/ door junctions

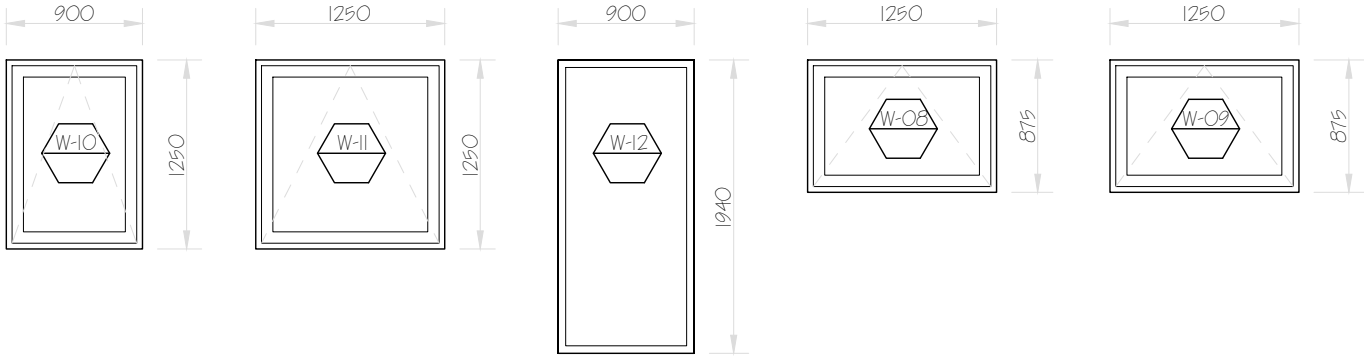
Air tightness tests must be undertaken by Specialists

Architect to be notified of supplier in advance of order being placed

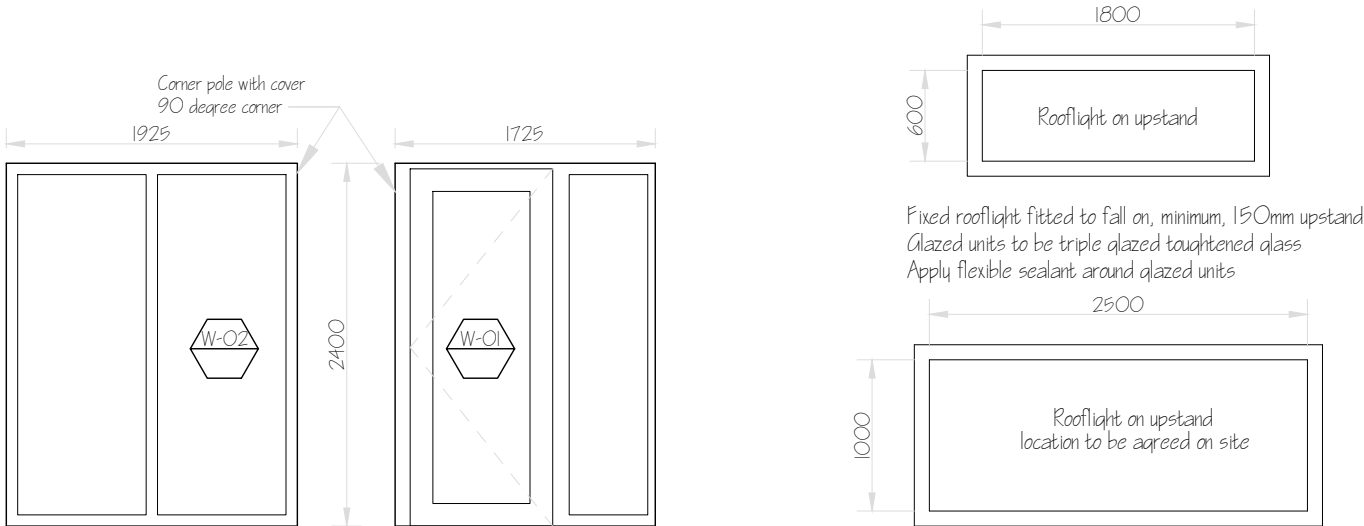
All doors, windows and screens should be fitted by the supplier

Window cills, window boards and mastic supplied and fitted by the contractor

Supply and fit toughened glass triple glazed rooflight on 150mm roof upstand as indicated on the drawings and in accordance with manufacturers instructions. Include for flashing and finishing around opening in a neat and tidy manner.



Northeast glazed panel and windows



Front door and side panels

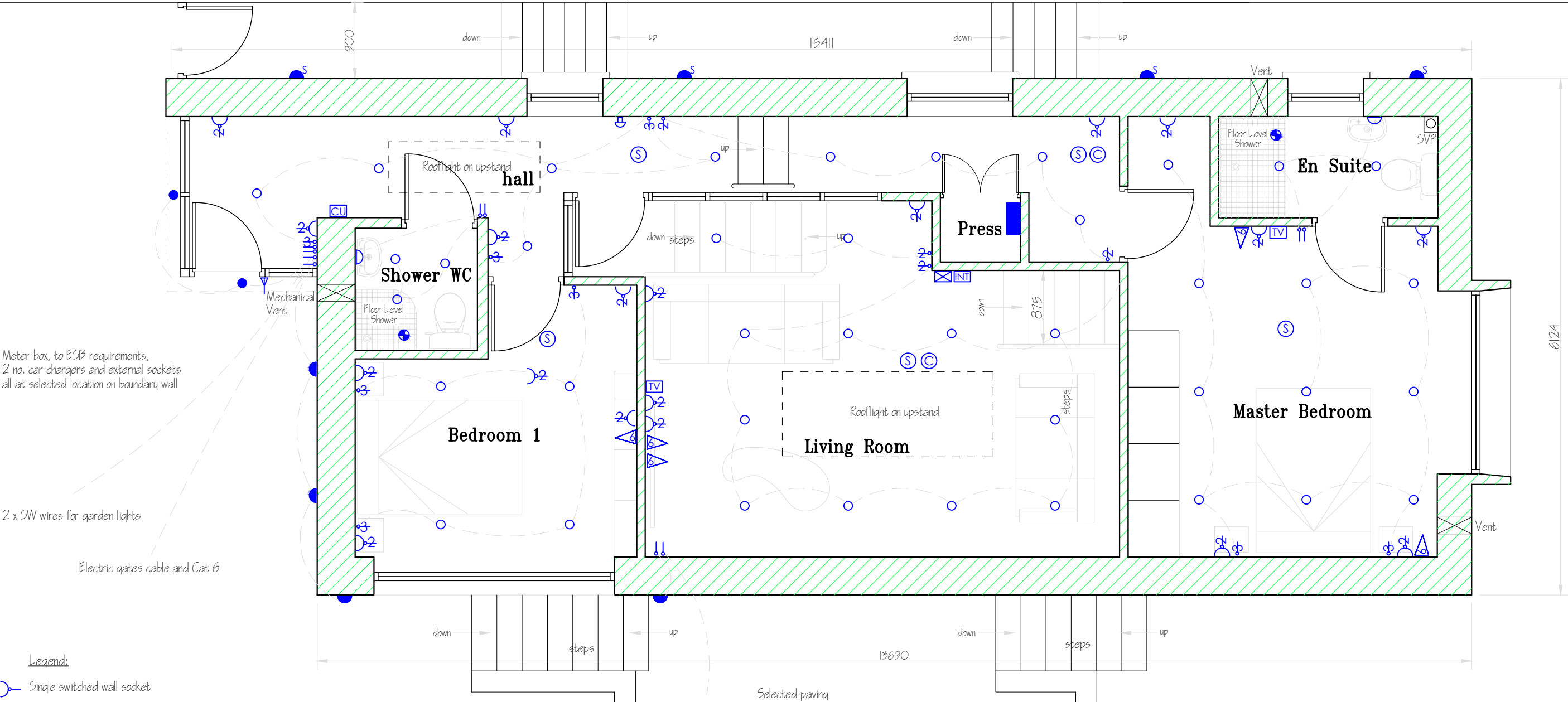
CLIENT: <b>NOEL &amp; VALERIE QUIRKE</b>		JOB TITLE: <b>PROPOSED DETACHED DWELLING HOUSE WITH WITH NEW VEHICULAR AND PEDESTRIAN ACCESSES AND ASSOCIATED SITE WORKS IN SIDE GARDEN OF 4 ROCKLANDS, HARBOUR ROAD, DALKEY.</b>	
SHEET CONTENT: <b>DOOR AND WINDOW SCHEDULE</b>		DESIGNED BY: <b>GRANVILLE DESIGN SERVICE</b> 55 GRANVILLE ROAD, DUN LAOGHAIRE, CO. DUBLIN. PHONE: 01-2840674 087-2345393 E-MAIL: granvilledesignservice@gmail.com	
DATE: AUGUST 2022	SCALE: 1:50	DRAWN BY: P.Mc Adam	DRAWING NO. 125/22/10

Retaining wall to  
Engineers specification

CLIENT:		JOB TITLE: <b>PROPOSED DETACHED DWELLING HOUSE WITH WITH NEW VEHICULAR AND PEDESTRIAN ACCESSES AND ASSOCIATED SITE WORKS IN SIDE GARDEN OF 4 ROCKLANDS, HARBOUR ROAD, DALKEY.</b>	
SHEET CONTENT:		DESIGNED BY:	
<b>GROUND &amp; LOWER GROUND FLOOR PLAN MECHANICAL &amp; ELECTRICAL LAYOUT</b>		<b>GRANVILLE DESIGN SERVICE</b> 55 GRANVILLE ROAD, DUN LAOGHAIRE, CO. DUBLIN. PHONE: 01-2840674 087-2345393 E-MAIL: granvilledesignservice@gmail.com	
DATE:	SCALE:	DRAWN BY:	DRAWING NO.
AUGUST 2022	1:50	P.Mc Adam	125/22/11

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Retaining wall to  
Engineers specification



Meter box, to ESB requirements,  
2 no. car chargers and external sockets  
all at selected location on boundary wall

2 x SW wires for garden lights

Electric gates cable and Cat 6

- Legend:
- Single switched wall socket
  - Double switched wall socket
  - 1 gang light switch
  - 2 gang light switch
  - 1 gang 2 way light switch
  - 1 gang 3 way light switch
  - TV aerial point
  - Isolation switch
  - Recessed downlighters
  - Recessed downlighters - external
  - Light point - Pendant holder
  - Wall light
  - External wall light
  - External wall light, sensor activated
  - External light - Bulkhead type
  - External lights

- Mechanical extract fan
- Door bell push
- Door bell chime
- Thermostat
- Intercom
- Fused Spur
- Consumer unit
- CAT 6 data socket
- Cooker switch
- Mechanical extract fan - Cooker hob hood
- Heat detector, mains powered
- Smoke detector, mains powered
- Carbon Monoxide detector
- Underfloor heating manifold

Notes:

It is the responsibility of the Building contractor to ensure  
all works comply with present Building Regulations  
All dimensions to be checked on site.  
The Building Contractor is responsible for the proper execution of the electrical installation work.  
All electrical installations shall be in accordance with the National Rules of Electrical Installation  
General purpose socket outlets shall be mounted 450mm above floor level. Where located over  
counters or similar they shall be mounted approx 1200mm over floor level.  
Position of all sockets to be agreed with Client on site.  
Position of all light switches to be agreed with client on site  
Smoke, heat and carbon monoxide detectors to be mains operated and  
installed in locations required under the relevant regulations.  
Car charging point to be installed at a location to be agreed with clients.  
Provide electrical feed to front gates for the installation of electric sliding gates.  
Allow for lighting to boundary wall along parking area and  
along planted area to southern boundary

UPPER FLOOR PLAN

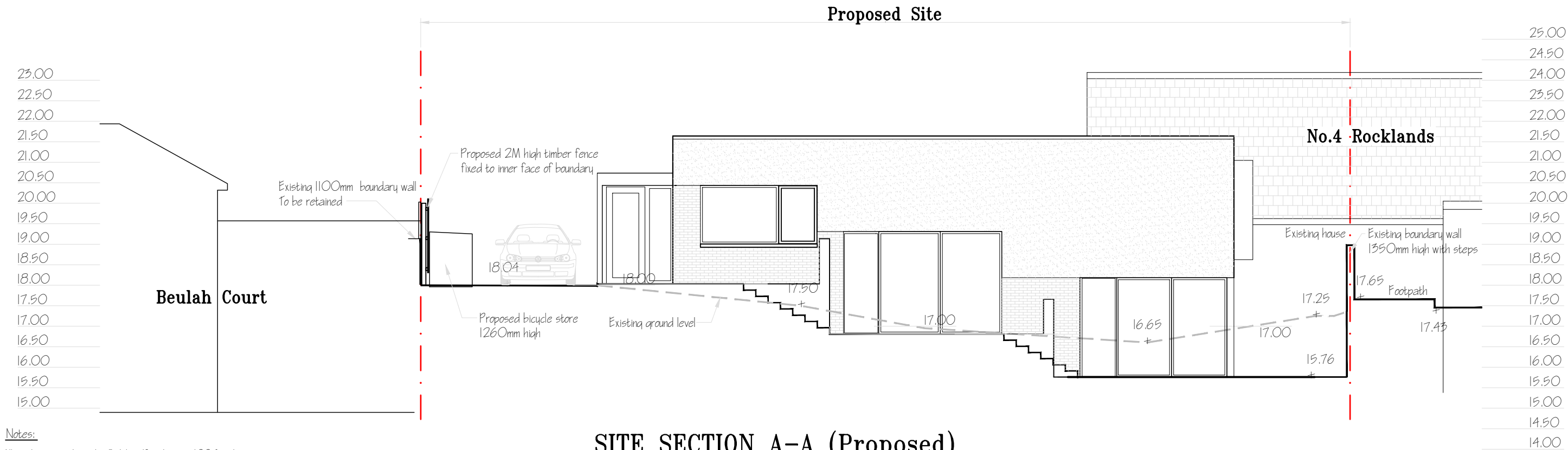
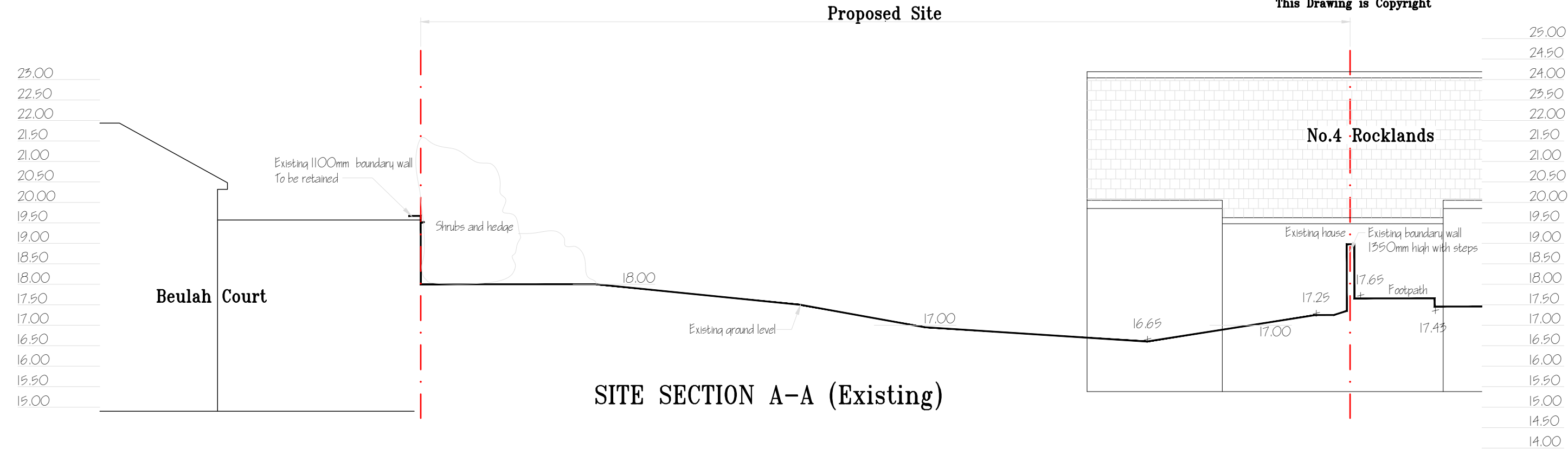


Legend:

- Site boundary
- Adjoining properties boundaries
- Existing walls to be retained
- Structures to be removed
- New works

CLIENT: <b>NOEL &amp; VALERIE QUIRKE</b>		JOB TITLE: <b>PROPOSED DETACHED DWELLING HOUSE WITH WITH NEW VEHICULAR AND PEDESTRIAN ACCESSES AND ASSOCIATED SITE WORKS IN SIDE GARDEN OF 4 ROCKLANDS, HARBOUR ROAD, DALKEY.</b>	
SHEET CONTENT: <b>UPPER FLOOR PLAN MECHANICAL &amp; ELECTRICAL LAYOUT</b>		DESIGNED BY: <b>GRANVILLE DESIGN SERVICE</b> 55 GRANVILLE ROAD, DUN LAOGHAIRE, CO. DUBLIN. PHONE: 01-2840674 087-2345393 E-MAIL: granvilledesigntservice@gmail.com	
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Notes:

All work to comply with Building Regulations 1997 or later.

It is the responsibility of the Building contractor to ensure  
all works comply with present Building Regulations

Do not scale drawings, use figured dimensions only.

All dimensions to be checked on site.

Clear and grade the site for the new building and remove or divert  
any existing drains or services as required.

The entire site of the new building and paved areashall be cleared of all  
vegetable soil to a depth of at least 150mm

Legend:

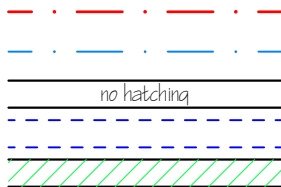
Site boundary

Adjoining properties boundaries

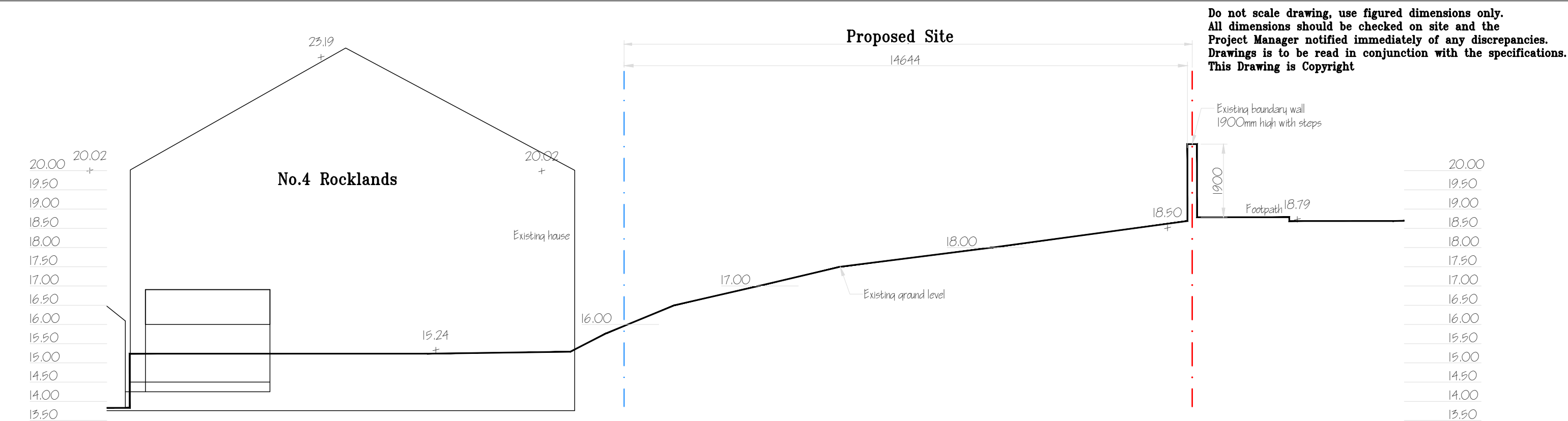
Existing walls to be retained

Structures to be removed

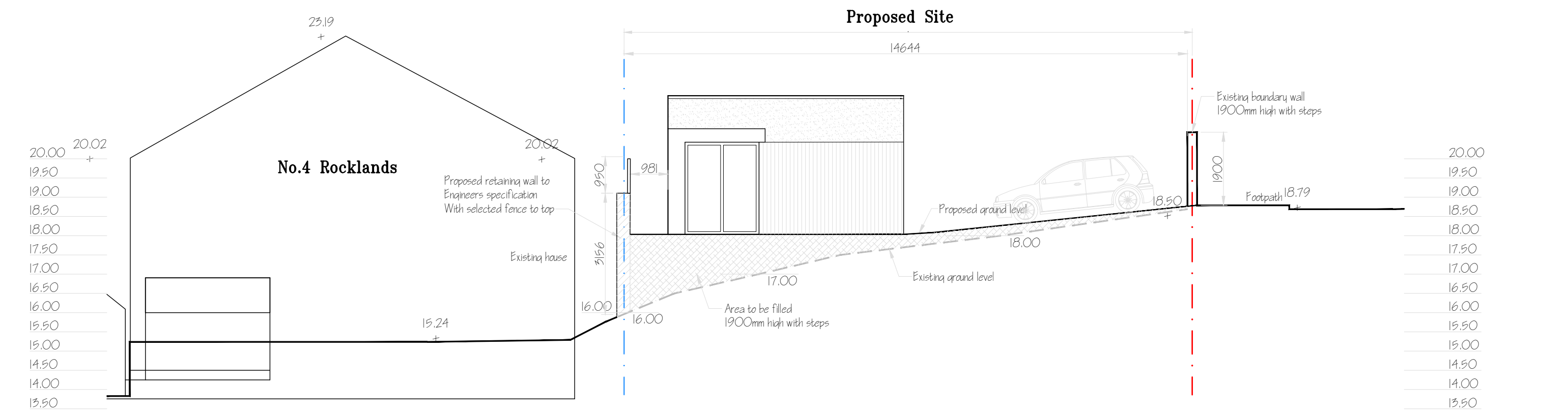
New works



CLIENT: <b>NOEL &amp; VALERIE QUIRKE</b>		JOB TITLE: <b>PROPOSED DETACHED DWELLING HOUSE WITH WITH NEW VEHICULAR AND PEDESTRIAN ACCESSES AND ASSOCIATED SITE WORKS IN SIDE GARDEN OF 4 ROCKLANDS, HARBOUR ROAD, DALKEY.</b>	
SHEET CONTENT: <b>LONGITUDINAL SITE SECTION A-A</b>		DESIGNED BY: <b>GRANVILLE DESIGN SERVICE</b> 55 GRANVILLE ROAD, DUN LAOGHAIRE, CO. DUBLIN. PHONE: 01-2840674 087-2345393 E-MAIL: granvilledesignservice@gmail.com	
DATE: AUGUST 2022	SCALE: 1:100	DRAWN BY: P.Mc Adam	DRAWING NO. 125/22/13



SITE SECTION B-B (Existing)



SITE SECTION B-B (Proposed)

Notes:

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- It is the responsibility of the Building contractor to ensure all works comply with present Building Regulations
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- All dimensions to be checked on site.
- Clear and grade the site for the new building and remove or divert any existing drains or services as required.
- The entire site of the new building and paved areashall be cleared of all vegetable soil to a depth of at least 150mm

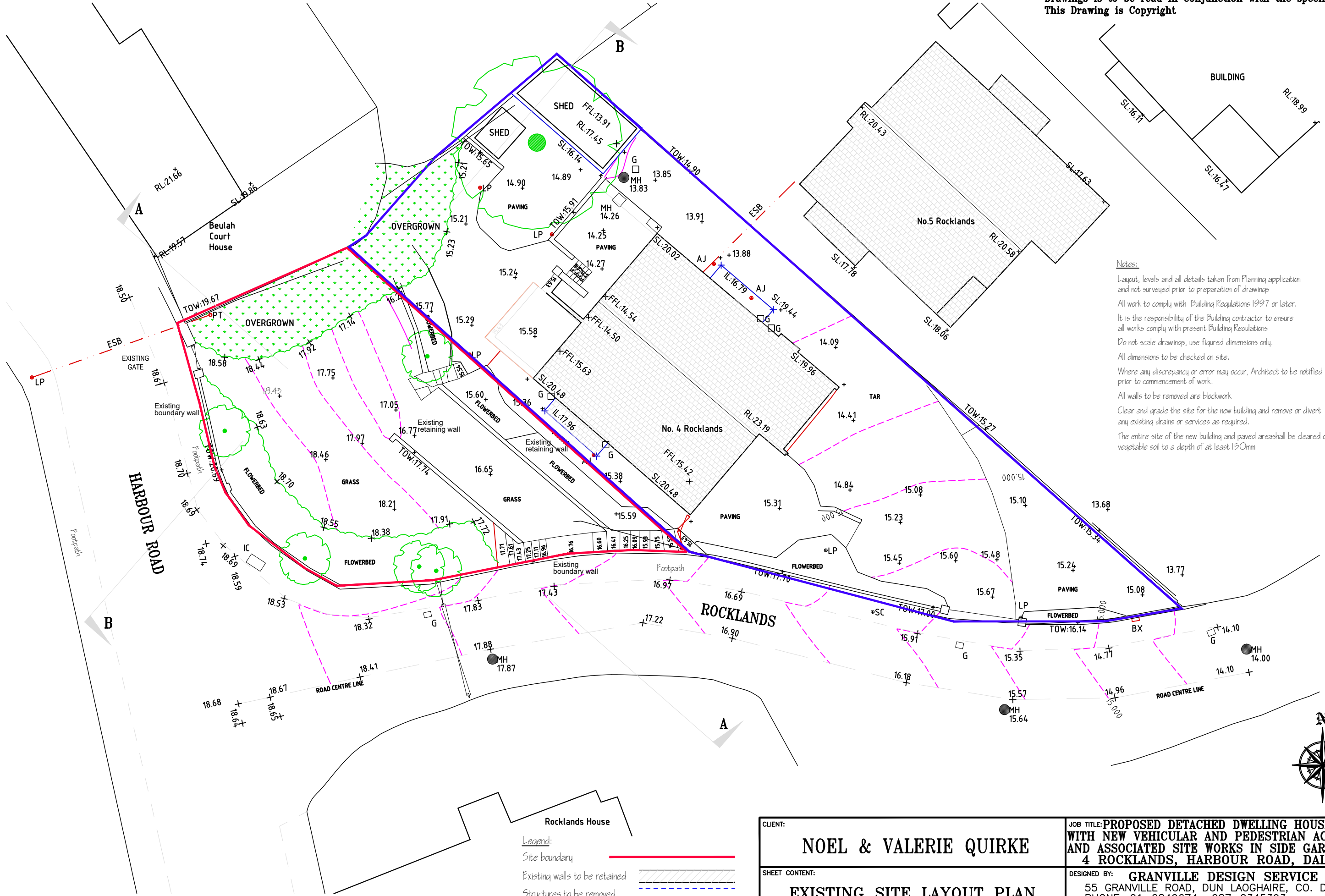
Legend:

- Site boundary
- Adjoining properties boundaries
- Existing walls to be retained
- Structures to be removed
- New works

CLIENT: <b>NOEL &amp; VALERIE QUIRKE</b>		JOB TITLE: <b>PROPOSED DETACHED DWELLING HOUSE WITH WITH NEW VEHICULAR AND PEDESTRIAN ACCESSES AND ASSOCIATED SITE WORKS IN SIDE GARDEN OF 4 ROCKLANDS, HARBOUR ROAD, DALKEY.</b>	
SHEET CONTENT: <b>CROSS SECTION OF SITE B-B</b>		DESIGNED BY: <b>GRANVILLE DESIGN SERVICE</b> 55 GRANVILLE ROAD, DUN LAOGHAIRE, CO. DUBLIN. PHONE: 01-2840674 087-2345393 E-MAIL: granvilledesignservice@gmail.com	
DATE: AUGUST 2022	SCALE: 1:50	DRAWN BY: P.Mc Adam	DRAWING NO. 125/22/14



Do not scale drawing, use figured dimensions only.  
All dimensions should be checked on site and the  
Project Manager notified immediately of any discrepancies.  
Drawings is to be read in conjunction with the specifications.  
This Drawing is Copyright



Notes:  
Layout, levels and all details taken from Planning application and not surveyed prior to preparation of drawings  
All work to comply with Building Regulations 1997 or later.  
It is the responsibility of the Building contractor to ensure all works comply with present Building Regulations  
Do not scale drawings, use figured dimensions only.  
All dimensions to be checked on site.  
Where any discrepancy or error may occur, Architect to be notified prior to commencement of work.  
All walls to be removed are blockwork  
Clear and grade the site for the new building and remove or divert any existing drains or services as required.  
The entire site of the new building and paved areas shall be cleared of all vegetable soil to a depth of at least 150mm

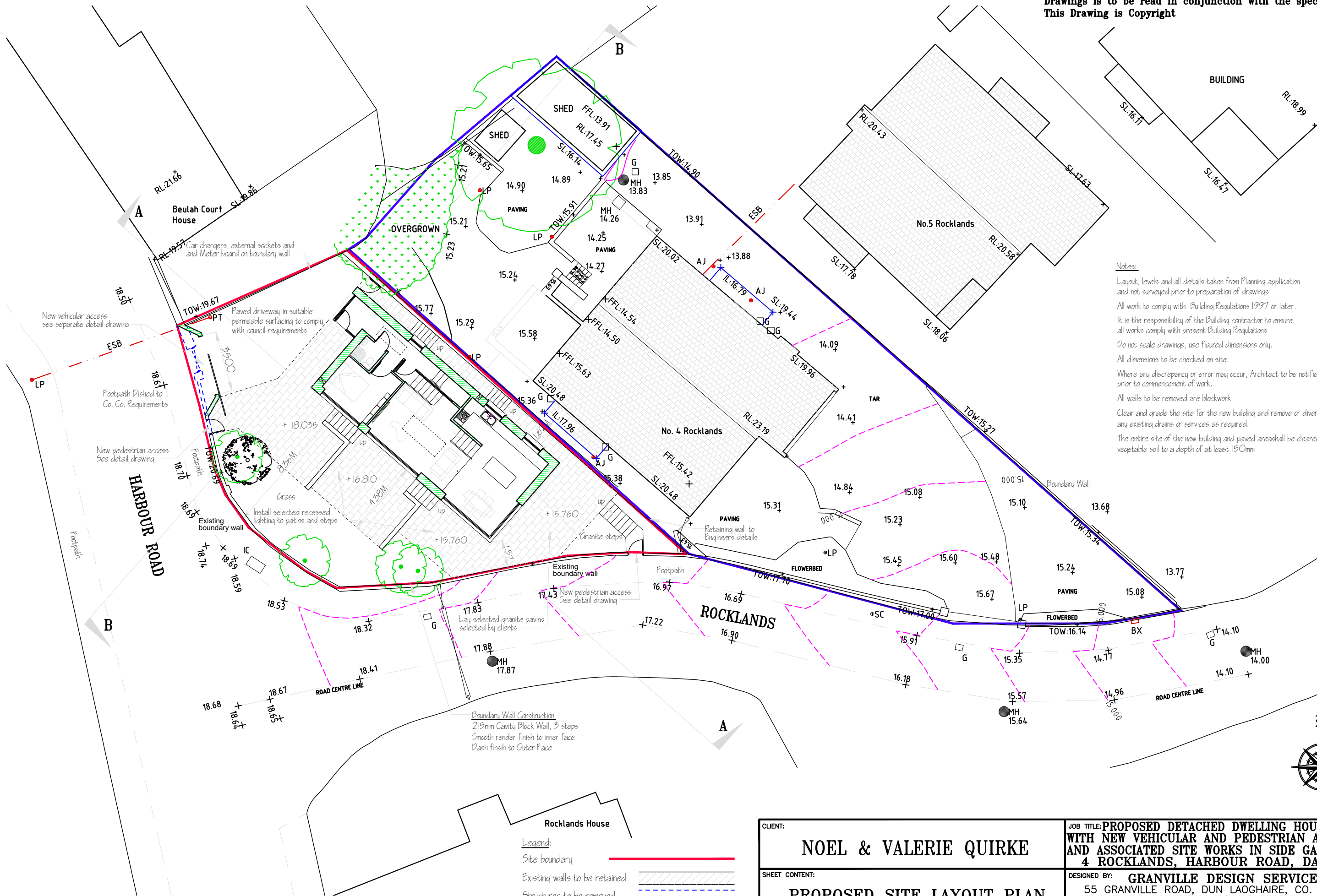


Legend:  
Site boundary  
Existing walls to be retained  
Structures to be removed  
New building works  
Existing walls

no hatching

CLIENT: <b>NOEL &amp; VALERIE QUIRKE</b>		JOB TITLE: <b>PROPOSED DETACHED DWELLING HOUSE WITH WITH NEW VEHICULAR AND PEDESTRIAN ACCESSES AND ASSOCIATED SITE WORKS IN SIDE GARDEN OF 4 ROCKLANDS, HARBOUR ROAD, DALKEY.</b>	
SHEET CONTENT: <b>EXISTING SITE LAYOUT PLAN</b>		DESIGNED BY: <b>GRANVILLE DESIGN SERVICE</b> 55 GRANVILLE ROAD, DUN LAOGHAIRE, CO. DUBLIN. PHONE: 01-2840674 087-2345393 E-MAIL: granvilledesigntservice@gmail.com	
DATE: AUGUST 2022	SCALE: 1:200	DRAWN BY: P.Mc Adam	DRAWING NO. 125/22/15

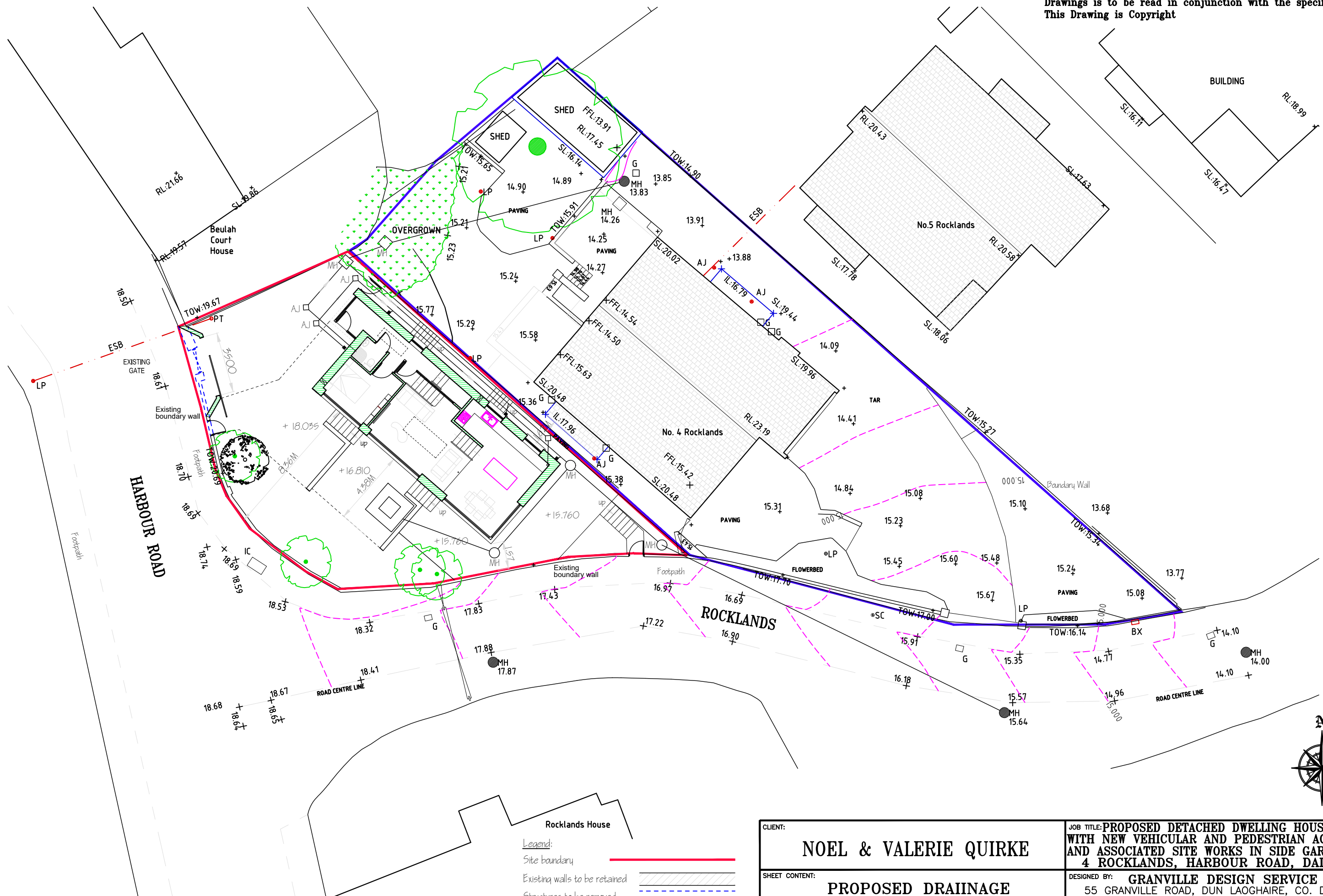
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CLIENT: <b>NOEL &amp; VALERIE QUIRKE</b>		JOB TITLE: <b>PROPOSED DETACHED DWELLING HOUSE WITH NEW VEHICULAR AND PEDESTRIAN ACCESSES AND ASSOCIATED SITE WORKS IN SIDE GARDEN OF 4 ROCKLANDS, HARBOUR ROAD, DALKEY.</b>	
SHEET CONTENT: <b>PROPOSED SITE LAYOUT PLAN</b>		DESIGNED BY: <b>GRANVILLE DESIGN SERVICE</b> 55 GRANVILLE ROAD, DUN LAOGHAIRE, CO. DUBLIN. PHONE: 01-2840674 087-2345393 E-MAIL: granvilledesignteam@gmail.com	
DATE: AUGUST 2022	SCALE: 1:200	DRAWN BY: P.Mc Adam	DRAWING NO. 125/22/16



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Project Manager notified immediately of any discrepancies.  
Drawings is to be read in conjunction with the specifications.  
This Drawing is Copyright



Rocklands House

Legend:

Site boundary

Existing walls to be retained

Structures to be removed

New building works

Existing walls

no hatching

CLIENT: <b>NOEL &amp; VALERIE QUIRKE</b>		JOB TITLE: <b>PROPOSED DETACHED DWELLING HOUSE WITH WITH NEW VEHICULAR AND PEDESTRIAN ACCESSES AND ASSOCIATED SITE WORKS IN SIDE GARDEN OF 4 ROCKLANDS, HARBOUR ROAD, DALKEY.</b>	
SHEET CONTENT: <b>PROPOSED DRAINAGE SITE LAYOUT PLAN</b>		DESIGNED BY: <b>GRANVILLE DESIGN SERVICE</b> 55 GRANVILLE ROAD, DUN LAOGHAIRE, CO. DUBLIN. PHONE: 01-2840674 087-2345393 E-MAIL: granvilledesignservice@gmail.com	
DATE: AUGUST 2022	SCALE: 1:200	DRAWN BY: P.Mc Adam	DRAWING NO. 125/22/17